

Municipality of Mississippi Mills
Council Meeting – OPA 22
“For Information Purposes”
Comprehensive Review – Urban Growth Scenarios

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Presentation Date: December 15, 2020



Mississippi
Mills



Summary

- Background – Conclusions from OPA 21
- Purpose & Intent of OPA 22
- Comprehensive Review: Growth Projections – 2020 to 2038 projections
- Comprehensive Review: Settlement Strategy (Urban and Rural-Village Split)
- Comprehensive Review: Vacant Land
- Comprehensive Review: Potential Expansion Areas
- Conclusion



Background – Conclusions from OPA 21

- The Municipality of Mississippi Mills had retained the planning services of J.L. Richards & Associates Limited to undertake the Five-Year review of its Community Official Plan (COP) under Section 26(1) of the Planning Act (OPA 21).
- The purpose of updating the Community Official Plan was to:
 - a) revise the Official Plan as required to ensure that it,
 - ii. has regard to the matters of provincial interest listed in Section 2 of the *Planning Act*; and
 - iii. is consistent with policy statements issued under subsection 3 (1) of the *Planning Act*.
 - b) revise the Official Plan, if it contains policies dealing with areas of employment, including, without limitation, the designation of areas of employment in the Official Plan and policies dealing with the removal of land from areas of employment, to ensure that those policies are confirmed or amended.
- OPA 21 was approved with modifications by Lanark County on December 4, 2019 and was deemed to be consistent with the Lanark County Sustainable Community Official Plan and the Provincial Policy Statements which came into effect on April 30, 2014.



Official Plan Amendment (OPA) No. 22

- The purpose of OPA 22 is to evaluate the need to expand the Almonte Ward Settlement Boundary.
- Based on the underlying principles of OPA 21:
 - new population projections adopted by the County of Lanark for Mississippi Mills (2018-2038) of 21,122;
 - 70% of future growth to Almonte on full municipal services; and
 - 70/30 (low density / medium density) split.
- The *gross density* for low density residential development shall be 15 units per hectare (15 u.g.h.) and medium density residential development shall have a maximum net density of 35 units per net hectare (35 u.n.h.).
- Consultants Report (JLR) commissioned to determine if Almonte has sufficient settlement area to accommodate growth to the year 2038 and should an expansion be required, identify and evaluate the potential areas for expansion.



Comprehensive Review: Growth Projections – 2020 to 2038 projections

- It was estimated that Mississippi Mills Rural and Village areas saw a population increase of 264 people and Almonte Ward saw a population increase of 1,840 people from 2016-2020.
- Per approved population projections (OPA 21), Mississippi Mills is expected to grow to an estimated population of 21,122 by 2038. Also, per OPA 21's urban/village-rural growth targets, it is estimated that the urban area will see a growth of 4,168 people and the village-rural areas will see a growth of 1,786 people.

	2006	2011	2016	2021	2026	2031	2038
2006 COP (Growth & Settlement Strategy)	13,036	14,700	16,123	17,357	18,500	-	-
Statistics Canada, Census & OPA 21 (Council adopted Population Projection)	11,734 (Census)	12,385 (Census)	13,163 (Census)	14,238	15,254	16,304	18,144
OPA 21 & LCSCOP (Approved Population Projection)	11,734 (Census)	12,385 (Census)	13,163 (Census)	14,689	16,847	19,323	21,122*

*Per *Planning Act*, OPA 22 is subject to the LCSCOP population projections.



Comprehensive Review: Settlement Strategy (Urban and Rural-Village Split)

- Residential permit activity over the past five (5) years has seen an 87/13 (urban/rural-village) split.
- Using the 2038 projected population of 21,122, the 70/30 scenario would see the need for:
 - 1,766 new units in Almonte on full municipal services; and
 - 744 new units to rural areas, existing villages with large lots, developed on private services or new rural settlement areas with a form of servicing that can support lot sizes of approximately 1,000 to 2,000 square metres (1/4 to 1/2 acre) based on 2.4 persons per household.
- Almonte Housing Need = 1,274 low density residential units and 492 medium density residential units to meet expected growth targets to the year 2038 (avg. 98 units per year).

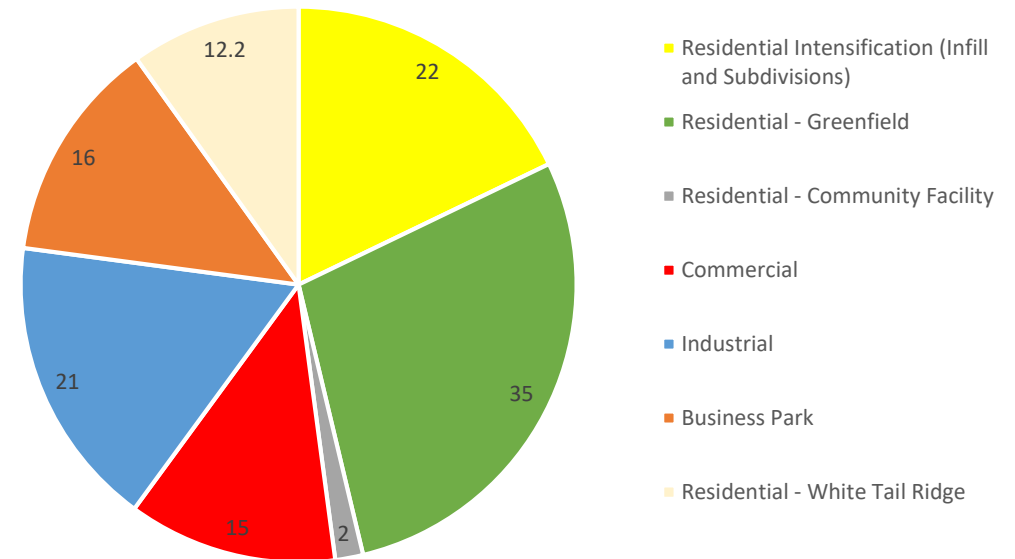
2016, Census Urban population	2016, Census Rural / Villages population	2020 Almonte population (est.)	2020 Rural / Villages population (est.)	2038 Urban population projection (projected)	2038 Rural / Village population (projected)
5,039	8,124	6,879	8,388	10,978	10,144
13,163		15,267		21,122	

Unit Type and Location	Average household size (persons per household)
Almonte – Low Density Residential	2.29
Almonte – Medium Density Residential	2.54
Almonte – Retirement Home	1.00
Almonte – Adult-oriented units	1.50
Almonte – Additional Residential Units (a.k.a. secondary units)	1.25
Villages	2.4
Rural / Agricultural Areas	2.35

Comprehensive Review: Residential – Supply vs Demand

- 22 hectares of vacant or underutilized parcels available to support residential intensification. Potential for approximately 275 lots/units within Almonte intensification areas based on 70/30 split and density.
- 35 hectares of vacant greenfield lands within Almonte. There is a potential for approximately 406 lots/units within Almonte's Greenfield areas based on 70/30 split and density.

Percentage of Total Vacant Lands (123.2 ha)



Comprehensive Review: Residential – Supply vs Demand

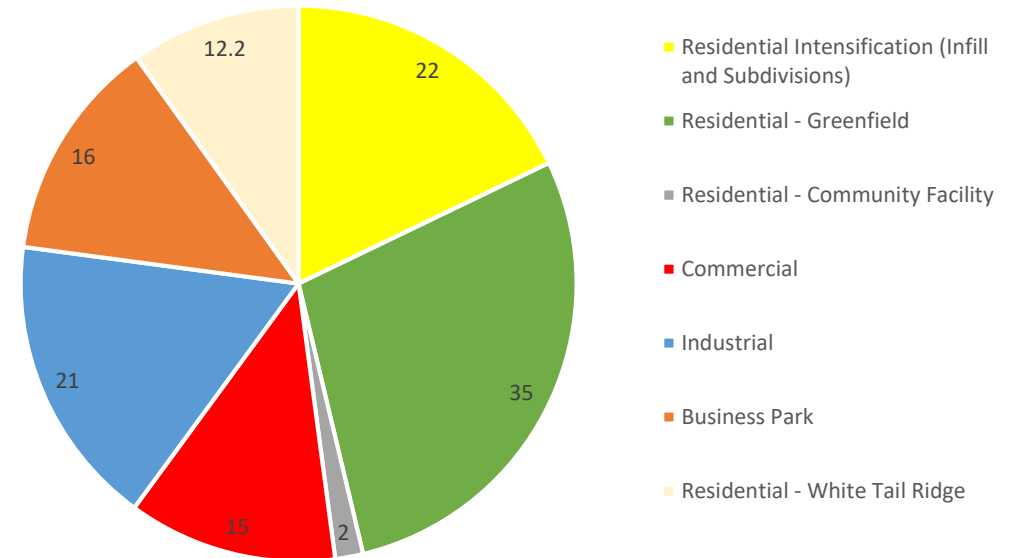
- There is shortfall of 60 hectares to accommodate growth to the year 2038, meaning that there is not an adequate supply of land for residential demand.
- Urban Boundary Expansion is necessary to accommodate future growth.

Total estimated Population in Almonte (2020)	6,879
Total Population to be Accommodated in Almonte between 2021-2038	4,168
Total Lots/Units Required (2021-2038)	1,766
Urban Settlement Area	
Almonte – Intensification (15-35 u/ha) @ 70/30 @ 70% residential	275
Almonte – Greenfield (15-35 u/ha) @ 70/30 @ 65 % residential	406
Almonte – 430 Ottawa Street (OPA 27) 124 units at 1.5 persons per unit	186
Almonte – Orchard View Estates Phase II (OPA 27) 48 retirement home Rooms at 1 person per room and 48 adult bungalows at 1.5 persons per unit	48
Additional Residential Units (aka secondary units, basement apartments) 4 per year at 1.25 persons per unit (assumption)	72
	90
Total Existing and Projected Lots/Units	1,077
No. of Lots/Units Required to Meet Projected Demand	1,766
SUPPLY MINUS DEMAND	
(Based on Rural Settlement Areas on private services and amount of urban and rural severances based on past trends)	(689)

Comprehensive Review: Employment – Supply vs Demand

- There will be a need for 1,517 jobs in Mississippi Mills (Employment Lands) by the year 2038.
- According to the Land Use Inventory, there is a total of 21 hectares of vacant Industrial lands and 16 hectares of vacant Business Park lands totalling 37 hectares of vacant employment lands.
- According to the Employment Projections for Mississippi Mills, there is a need for approximately 33.7 hectares of employment land to accommodate employment in the Municipality over the planning horizon.
- There is adequate supply of land for employment demand.

Percentage of Total Vacant Lands (123.2 ha)

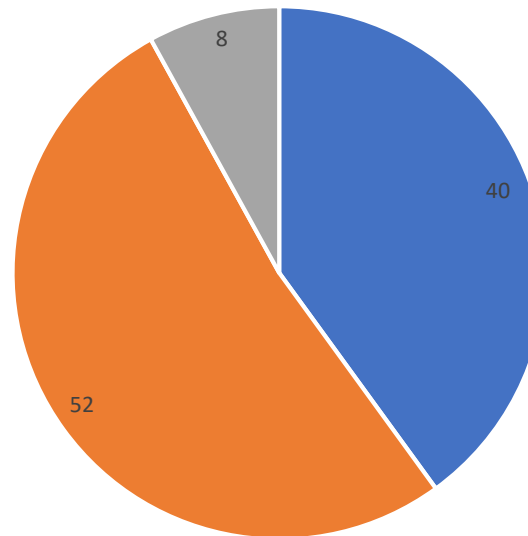


Comprehensive Review: Potential Expansion Areas

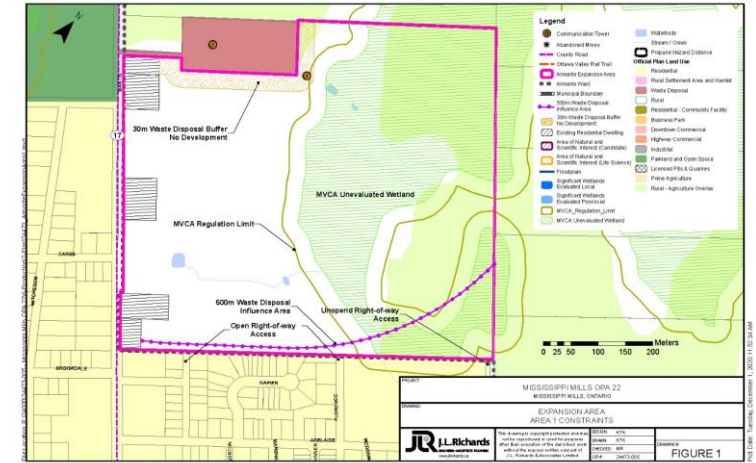
AREA 1 – “Sonnenburg Lands”

- 38.63 hectares (ha) in Total Land Area.
- 15.4 ha of land is unaffected by constraints
- 1.17 ha of rural land that is located within the Ministry of Environment (MOE) 30m setback buffer from the adjacent Waste Disposal Facility. This area of the site is undevelopable
- 1.75 ha of rural land that is already developed.
- 10.7 ha of rural land that is subject to the Rural – Agricultural Overlay
- 18.2 ha of rural land that is subject to natural heritage constraints

Percentage of Total Land Area



- Developable Rural Land (without land use and natural heritage constraints)
- Constrained Rural Land (with land use and natural heritage constraints)
- Non-developable Rural Land (1)

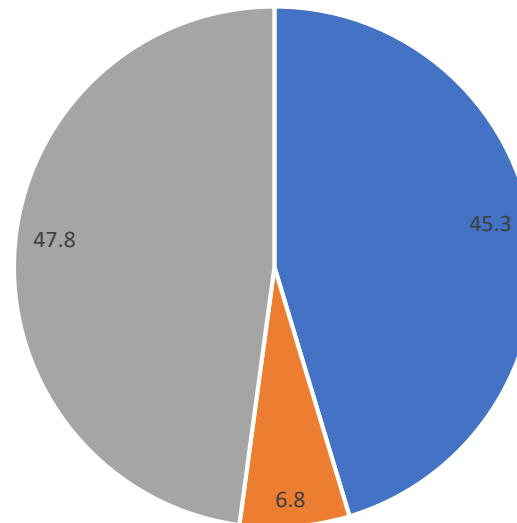


Comprehensive Review: Potential Expansion Areas

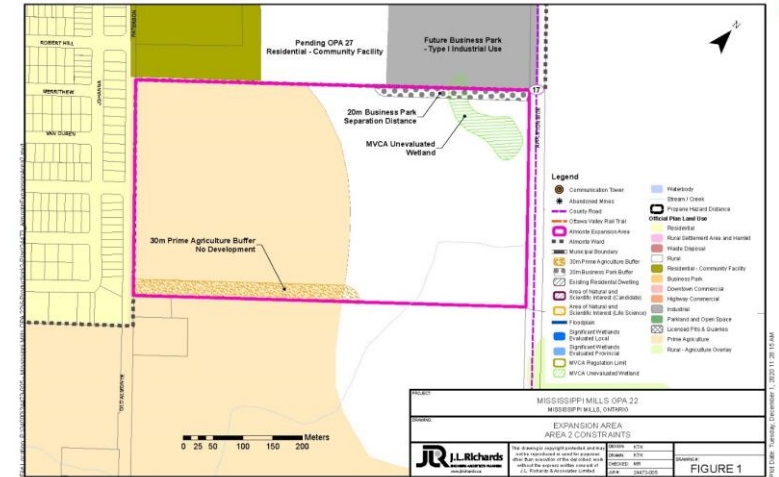
AREA 2 – “Houchiami Lands”

- 11.4 ha of Rural lands.
- 12.6 ha of Prime Agricultural Land, which consists of good soil for cultivation and may include existing agricultural operations.
- 1.12 ha of land is within the 30m Prime Agricultural Buffer, as prescribed by Section 3.6.16 of the Mississippi Mills Community Official Plan (COP).
- 0.51 ha of land will be subject to the separation distance (20m) requirement from Type I land uses.
- 0.63 ha of Rural Land is located within the MVCA Unevaluated Wetland.

Percentage of Total Land Area



- Rural Land
- Non-developable Rural Land (1)
- Prime Agricultural Land

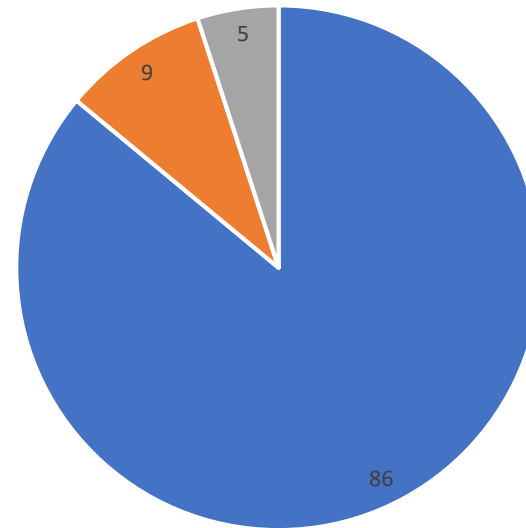


Comprehensive Review: Potential Expansion Areas

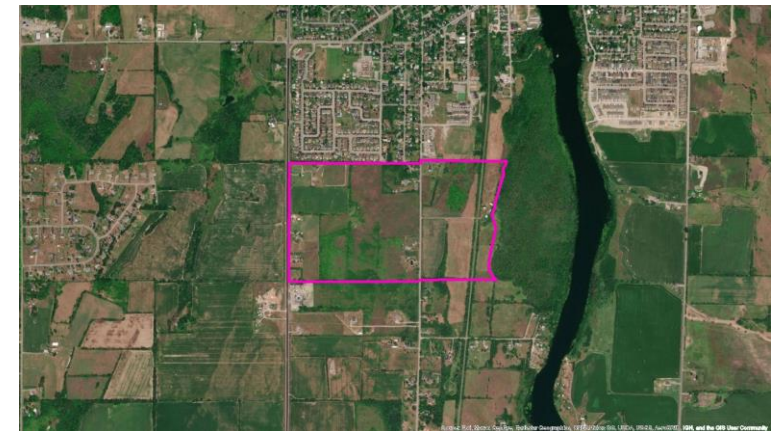
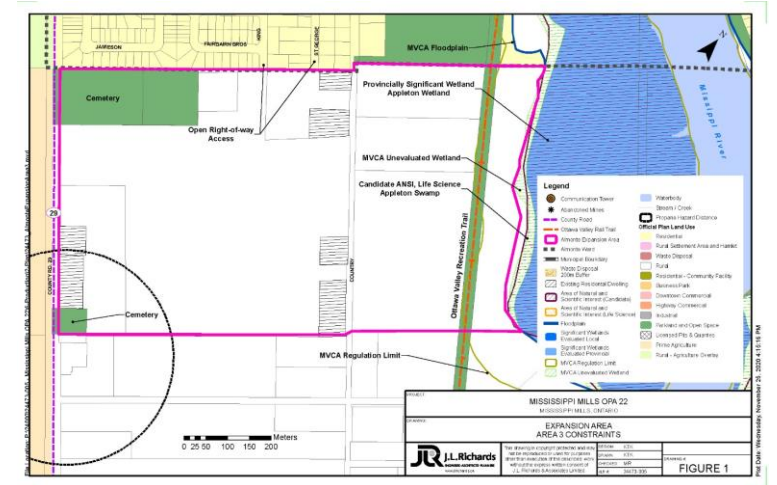
AREA 3

- 64.4 hectares (ha) in Total Land Area, including 55.1 ha of rural land.
- 6.1 ha of Parkland and Open Spaces and 3.2 ha of developed lots that are proposed to be included in the urban expansion area.
- There is only one constraint overlay that affects 5.9 ha of rural land.
- The Appleton Swamp (wetland) is located to the west of the site and includes lands within the Mississippi River.

Percentage of Total Land Area



- Rural Land
- Parks and Open Space
- Remaining Developed Lots

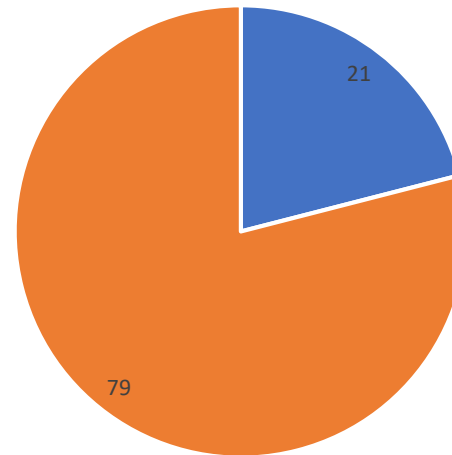


Comprehensive Review: Potential Expansion Areas

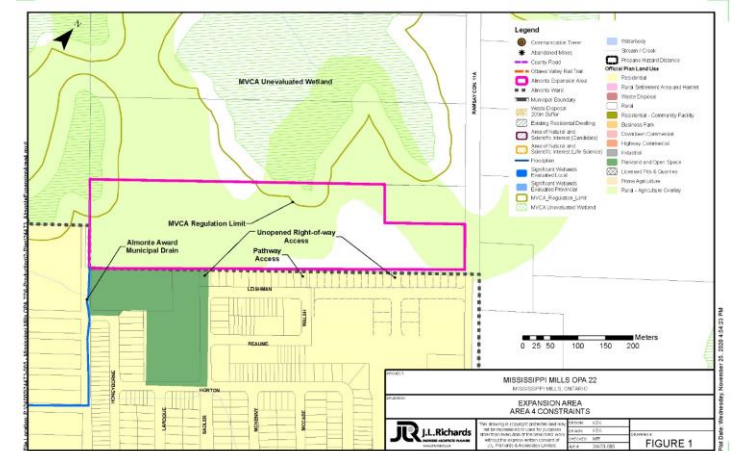
AREA 4 – “Extension of Millrun”

- 9.7 ha of Rural lands.
- A Rural – Agricultural Overlay (not prime agricultural land) is present over 7.7 ha of the Rural Lands.
- 0.69 ha of Rural Land is located within the MVCA Regulation Limit, with 0.09 ha of this land being identified as MVCA Unevaluated Wetlands.

Percentage of Total Land Area



- Rural Land
- Rural Land constrained by Rural - Agricultural Overlay (not prime ag.)



CONCLUSION:

- The following are the main conclusions for the Municipality of Mississippi Mills:
 - The Municipality does not have the ability to accommodate residential growth for a minimum of 15 years through residential intensification and redevelopment, and lands designated and available for residential development; but
 - The Municipality has land with servicing capacity sufficient to provide at least a three-year supply of residential units available through lands suitably zoned to facilitate residential intensification and redevelopment, and land in draft approved and registered plans.
- Therefore, the settlement area of Almonte needs to be expanded to accommodate future growth.
- Areas 1, 2 and 4 are recommended.

