



Mississippi  
Mills

# Spring Building Spotlight

## *Planning & Building Information*

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Step 1: Find out what your property is zoned using the Municipality’s [Online Mapping Tool](#).

You can see aerial imagery by changing the map view here



Online Mapping Tool

[cgis.com/cpal/Default.aspx?CLIENT=MMills](https://cgis.com/cpal/Default.aspx?CLIENT=MMills)

Use the “Find an Address” button to locate your property

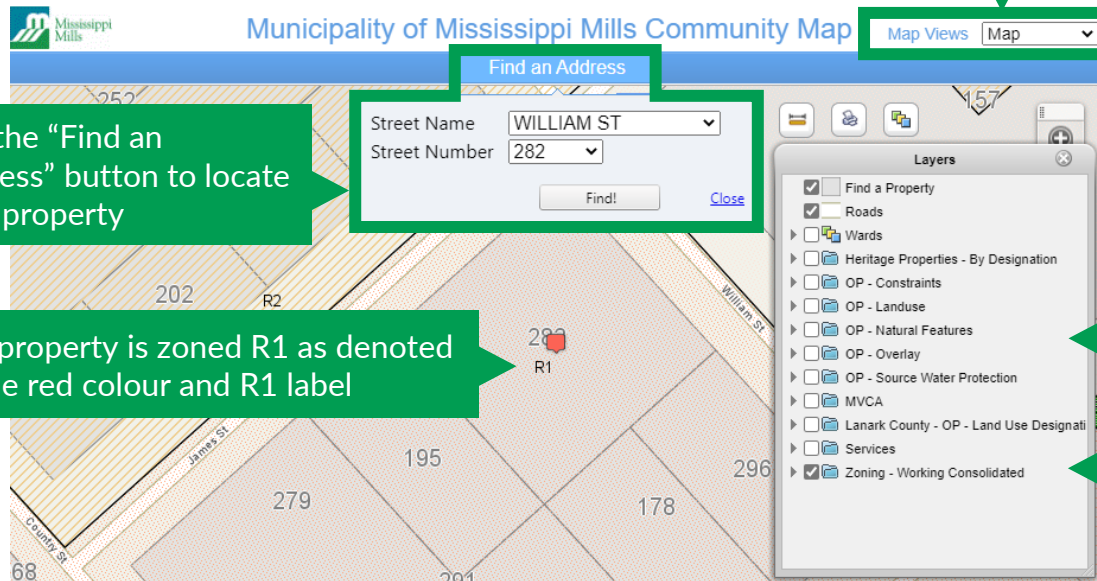
Find an Address

Street Name: WILLIAM ST

Street Number: 282

Find! Close

This property is zoned R1 as denoted by the red colour and R1 label



Other layers, including Mississippi Valley Conservation Authority info and Official Plan Designations, can also be turned on

To check your property’s zoning, make sure the “Zoning – Working Consolidated” layer is turned on

## Step 2: Determining required setbacks

- Once you figure out what your property is zoned, you can check the [Zoning By-law](#) to see what the required setbacks are by looking at the “zone provisions” table under each of the zone sections.
- Sometimes, properties will have a subzone (i.e.: R2E, denoted by a letter after the zone), there will be a table of “subzone provisions” that sets out the required setbacks.
- Some properties will also have a Special Exception (i.e.: R2-1, denoted by a dash and a number after the zone), there will be a “Special Provisions” section that sets out specific differences to the zone provisions that apply to this property only.

Provisions	No Municipal Water or Sewer	Either Municipal Water or Sewer	Municipal Water and Sewer
Lot Area, Minimum (m <sup>2</sup> )	2000 (c)	1000 (c)	450
Lot Frontage, Minimum (m)	30	20	18
Front Yard, Minimum (m)	7.5	6	6
Side Yard, Minimum (m)	3 (d)	3 (d)	1.2 (a), (d)
Exterior Side Yard, Minimum (m)	7.5	7.5	4.5
Rear Yard, Minimum (m)	10	10	7.5
Building Height, Maximum (m)	9		
Lot Coverage, Maximum	30%		
Floor Area, Minimum (m <sup>2</sup> )	75		

Example: R1 Zone Provisions



Zoning Bylaw

[mississippimills.ca/en/build-and-invest/resources/Documents/Bylaw-11-83-Comprehensive-Zoning---Consolidated-June2022.pdf](https://mississippimills.ca/en/build-and-invest/resources/Documents/Bylaw-11-83-Comprehensive-Zoning---Consolidated-June2022.pdf)

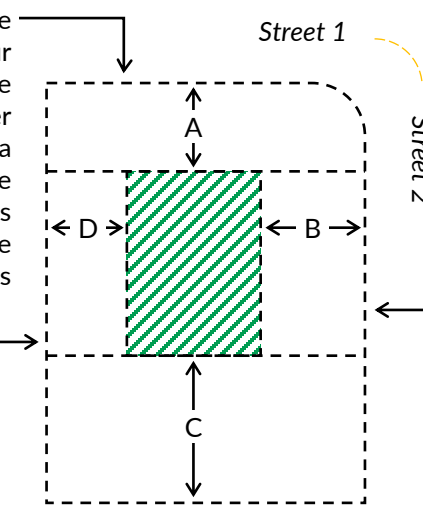
## Step 3: Understanding how the required setbacks apply to your property

- The setbacks in the zoning by-law are the distances that you must keep between your property lines and the structure that you're building.
- If you are unsure about where your property lines are located, you may need to consult an *Ontario Land Surveyor*. Only *Ontario Land Surveyors* can tell you exactly where your property lines are located.
- If your yard is larger than the required yard, your deck or porch can be bigger; only the required yards matter.

The **front lot line** is the lot line that touches the street; if your property is a corner lot, the front lot line is the shorter property line that touches a street; and, if both lines are the same length, the front lot line is based on the direction that the front of the house faces

Lot lines that are not front, rear or exterior side lot lines are **interior side lot lines**

The **rear lot line** is the lot line furthest from and opposite the front lot line



Provisions	Required
Minimum Front Lot Line Setback (m)	A
Minimum Exterior Side Lot Line Setback (m)	B
Minimum Side Lot Line Setback (m)	C
Minimum Rear Lot Line Setback (m)	D

If your lot is a corner lot with two property lines that touch streets, the longer lot line is the **exterior side lot line**

Area where a house could be built

### Environmental and Contextual Notes:

- In some cases, there may be environmental constraints that would prohibit the construction of buildings in certain locations or there may be additional approvals from the [Mississippi Valley Conservation Authority \(MVCA: mvc.on.ca\)](http://mvc.on.ca) that are required.
- Please note that on some properties, there may be easements, drainage easements, swales or other drainage features that may limit where decks and porches can be located; contact the Municipality if there are features on your property that you are unsure about.

### What if my deck or porch does not meet these zoning requirements?


- Certain types of structures have different rules for setbacks. The Spring Building Spotlight will provide you with the information needed to meet the zoning requirements for these types of structures:
  - Permitted projections such as decks and porches
  - Accessory buildings such as sheds and garages
  - Pools & hot tubs
  - Fences
- If you're unable to meet the Zoning requirements, you may still be able to build your deck if you apply for a [Minor Variance application](#). Contact the Planning Department to learn about the Minor Variance process.

# Permitted Projections – Decks and Porches

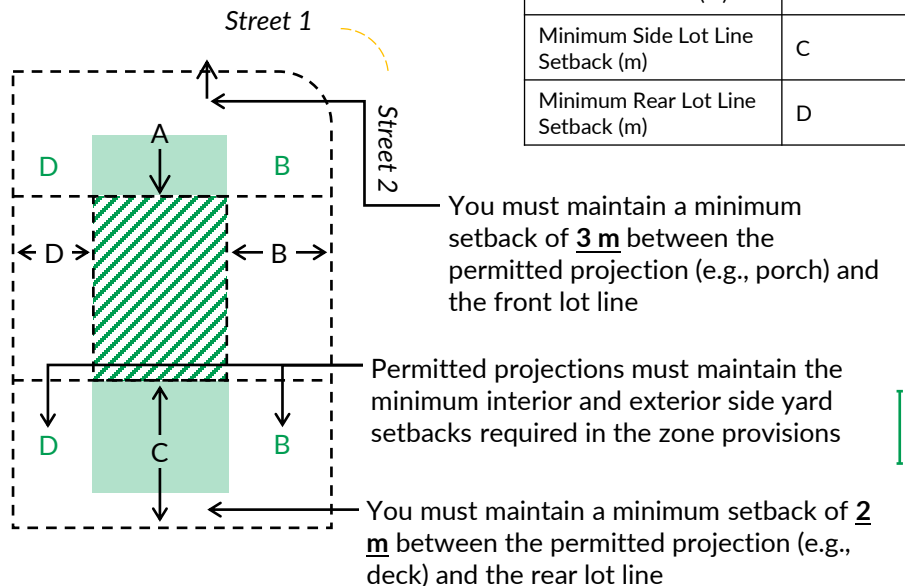
Permitted projections are unenclosed structures attached to a building such as porches and decks. Covered or uncovered balconies, porches, decks, platforms and verandahs are all considered permitted projections and are permitted on most buildings provided that they meet the permitted projection requirements of [Section 6.19 of the Zoning By-law](#).

Please note that **enclosed structures such as sunrooms are considered additions** and follow the same setbacks as the main house.

Building permits are required for decks and porches of any size if they serve the building directly via a doorway of any kind, even if they are less than 10m<sup>2</sup> (108 sq ft).

 Area where a house or permitted projection could be built

 Area where a permitted projection could be built



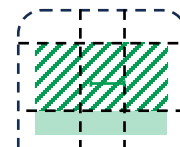
Provisions	Required
Minimum Front Lot Line Setback (m)	A
Minimum Exterior Side Lot Line Setback (m)	B
Minimum Side Lot Line Setback (m)	C
Minimum Rear Lot Line Setback (m)	D



Max height of guardrails is 1.2 m



Minimum of 1 unenclosed side; where there are enclosed sides, they must not exceed 1.8 m in height



If you live in a vertically separated semi, triplex, fourplex or townhouse, your permitted projection can be built to the interior side lot line



However, if your projection is covered, you must maintain a 1 m setback from the interior lot line



If the permitted projection is covered and has a walking surface that is greater than 0.6 m in height, it can only project into a required yard by 3.65 m; even if there is more than enough space to maintain the 2 m setback between the projection and the rear lot line.

# Accessory Buildings – Sheds, Garages, and Storage Containers

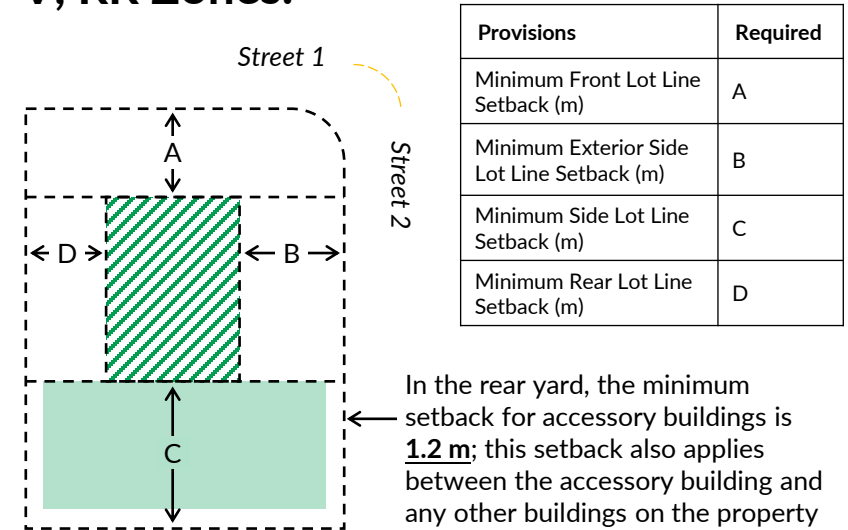
Accessory buildings are building such as sheds, detached garages and storage containers that are located on the same lot as a main building such as a house. Accessory buildings are permitted on most lots provided that they meet the accessory building requirements of [Section 6.1 of the Zoning By-law](#). Detached secondary dwelling units are required to follow the same rules as accessory buildings. Different rules may apply depending on the zoning of your property.

Storage sheds and containers under 15m<sup>2</sup> (161 sq ft) do not require a building permit, however they still need to meet the requirements of the Zoning By-law. All storage sheds over 15m<sup>2</sup> (161 sq ft), including pre-manufactured sheds and shipping containers, require a building permit. Structures used for anything other than storage will require a building permit if they are 10m<sup>2</sup> (108 sq ft) or larger.

Zoning Requirements		R1, R2, R3, LSR, V, RR	RU, A, C1, C5, M3, M4, MP, MQ, MR	All Other Zones	Endnotes
Minimum Front Lot Line Setback		Same as required for principal building			1, 4, 6
Minimum Exterior Side Lot Line Setback and Minimum Rear Lot Line Setback Where the Rear Lot Line Abuts a Street		Same as required for principal building			1, 4, 6
Minimum Side Lot Line Setback	In an Interior Side Yard or Exterior Side Yard	Same as required for principal building		0.6 m	1, 2, 3, 4, 6
	In a Rear Yard	1.2 m	1 m	0.6 m	1, 2, 3, 4, 6
Minimum Rear Lot Line Setback Where the Rear Lot Line Does Not Abut a Street		1.2 m	1 m	0.6 m	1, 4, 6
Maximum Height		4.5 m	A and RU zones: 12 m	6 m	4, 6
			All other zones: 6 m		6
Maximum Cumulative Area of All Accessory Buildings Combined		The lesser of 55 m <sup>2</sup> or 50% of the area of the yard in which they are located	The greater of 150 m <sup>2</sup> or 5% of the area of the total lot	No restrictions	6
Maximum Number of Accessory Buildings Permitted on a Lot		2	3	3	6
Maximum Number of Agricultural Accessory Buildings Permitted on a Lot		Not permitted	No restrictions	Not permitted	6
Minimum Required Distance from Any Other Building Located on the Same Lot		1.2 m			5, 6

The endnotes refer to specific situations where different rules may apply. These include rules for play structures, shared garages, wind turbines among other types of different accessory structures.	
1	For a marine facility where it abuts a watercourse, no setback is required from the watercourse
2	For shared garages or carports erected on a common side lot line, the side lot line setback for the shared garages or carports may be 0 m.
3	For children’s play structure, aboveground swimming pools, hot tubs, and swimming pools/hot tubs located within a building or structure (note: for the purposes of this provision the height of a play structure means the highest point designed for a child to safely stand, sit or climb):  Abutting a residential zone: a distance equal to the height of the structure; no less than 1.5 metres from a lot line for a pool or hot tub
	For children’s play structure, aboveground swimming pools, hot tubs, and swimming pools/hot tubs located within a building or structure (note: for the purposes of this provision the height of a play structure means the highest point designed for a child to safely stand, sit or climb):  Not abutting a residential zone: 0.6 m; no less than 1.5 metres from a lot line for a pool or hot tub
4	wind turbine with a power rating of 1 kilowatt or less – setback equal to height above grade
	Wind turbines with a power rating higher than 1 kilowatt but less than 3 kilowatt – not permitted any zones except the RU, A, C1, C5, M3, M4, MP, MQ, MR zones, subject to the following additional restrictions:
	From any dwelling unit or residential zone: the greater of 500 m or a distance equal to seven times the rotor diameter, and 30 m from any lot line
	See Green Energy Act, 2009 – Renewable Energy Approvals (REA) process for other situations
	Wind turbines are exempt from maximum height restrictions
5	Except in the case of a hot tub, where no minimum distance from any other building located on the same lot applies
6	No accessory uses, buildings or structures are permitted in the EP zone

## Example Diagram - R1, R2, R3, LSR, V, RR Zones:



Area where a house or accessory building could be built

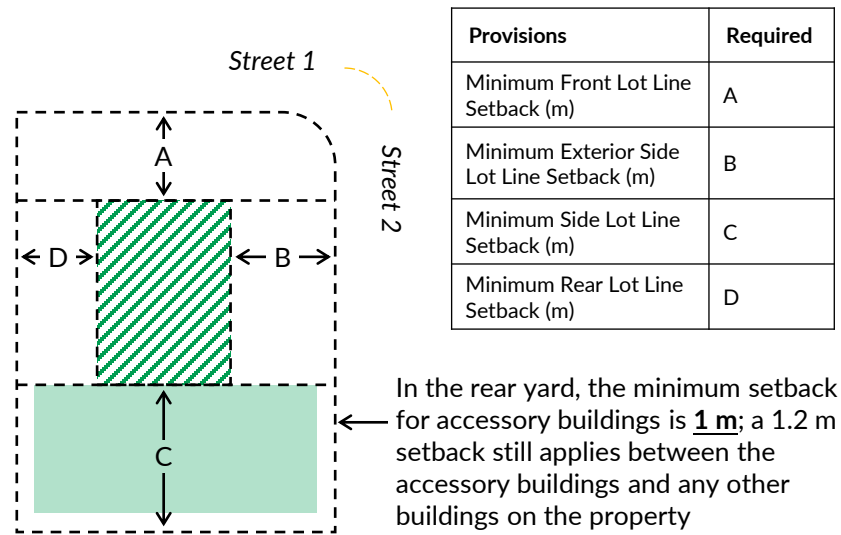
Area where an accessory building could be built

Maximum height is 4.5 m

Maximum area for all accessory buildings is the lesser of 55 m<sup>2</sup> or 50% of the area of the yard in which they are located

Maximum number is 2 accessory buildings on one lot

## Example Diagram - RU, A, C1, C5, M3, M4, MP, MQ, MR Zones:



Area where a house or accessory building could be built

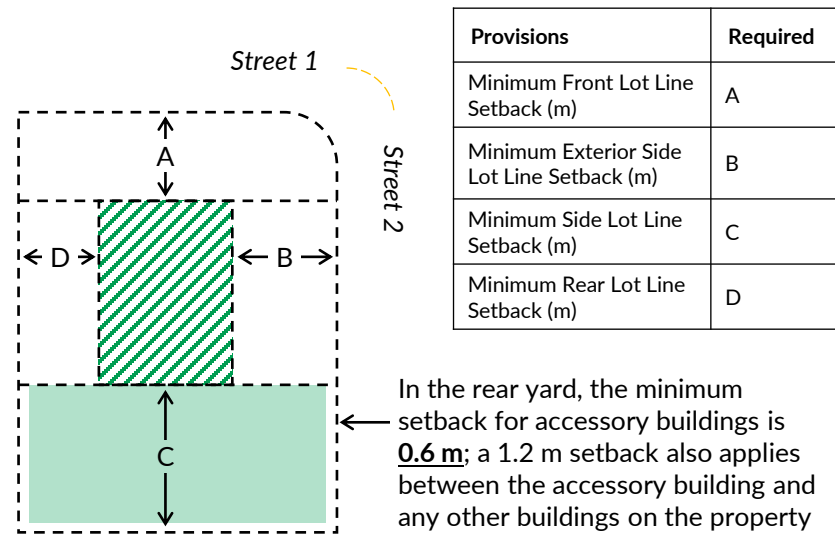
Area where an accessory building could be built

Maximum height is 12 m in the RU and A Zones and 6 m in the other zones listed above

Maximum area for all accessory buildings is the greater of 150 m<sup>2</sup> or 5% of the area of the total lot

Maximum number is 3 accessory buildings per lot; no limit on the number of agricultural accessory buildings (barns, greenhouses, etc.)

## Example Diagram - Any Other Zones:



Area where a house or accessory building could be built

Area where an accessory building could be built

Maximum height is 6 m

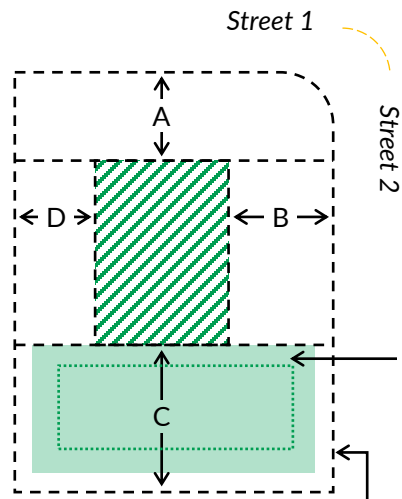
No limit on area

Maximum number is 3 accessory buildings

# Pools and Hot Tubs

Pools and Hot Tubs are permitted on most lots provided that they meet all the applicable provisions of the [Pools By-law](#). If there are accessory structures or decks associated with a pool, they must also satisfy all the requirements associated with accessory structures and decks. An enclosure permit must be attained prior to installation of any pool or hot tub within the Municipality. A new deck built to access the pool may also require a separate building permit.

## Inground Pools:



Provisions	Required
Minimum Front Lot Line Setback (m)	A
Minimum Exterior Side Lot Line Setback (m)	B
Minimum Side Lot Line Setback (m)	C
Minimum Rear Lot Line Setback (m)	D

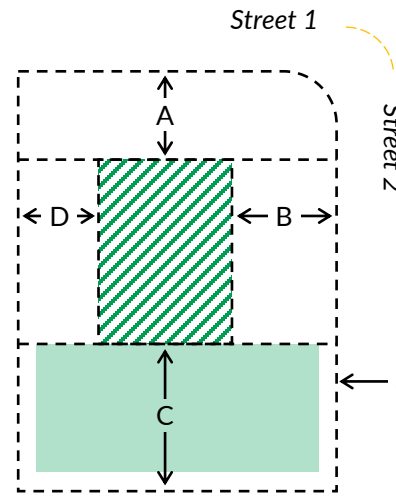
Pools cannot be located closer than **0.75 m** from the required fence

Pools cannot be located closer than **1.5 m** from a lot line if located in the rear yard; if the pool is located in any other yard, the required setbacks for the principal building apply

- Area where a house or pool could be built
- Area where a pool could be built

- Inground pools need to be fenced in with fencing that is at least **1.5 m** in height
- The fencing needs to be **non-climbable** in the form of a vertical orientation fence/barrier/wall and with no openings that will allow the passage of a 100 mm diameter sphere
- Any gates or other access openings are self-closing, with self-latching and lockable hardware located at least **1.35 m** above the ground

## Above Ground Pools:



Provisions	Required
Minimum Front Lot Line Setback (m)	A
Minimum Exterior Side Lot Line Setback (m)	B
Minimum Side Lot Line Setback (m)	C
Minimum Rear Lot Line Setback (m)	D

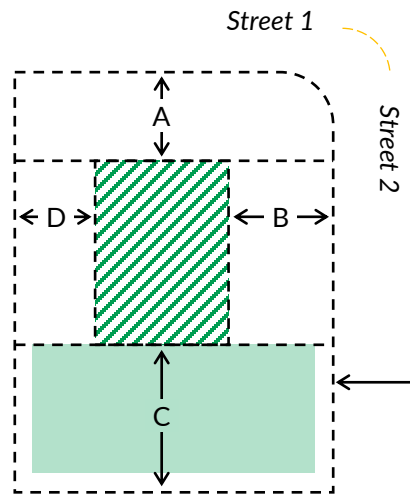
Pools cannot be located closer **than the greater of the height of the pool or 1.5 m** from a lot line if located in the rear yard; if the pool is located in any other yard, the required setbacks for the principal building apply

- Pool equipment and any other climbable surfaces above grade need to be located a minimum **1.2 m** away from the pool sidewall
- Any access ladder is readily removable without the use of tools, or is lockable in a non-climbable upright position
- Any deck/floor/platform adjacent or accessible to the pool has a minimum height of **1.2 m**; the deck/floor/platform must be **non-climbable** and with no openings that will allow the passage of a 100 mm diameter sphere
- Any gate and other access opening is self-closing, with self-latching and lockable hardware located at least **1.35 m** above the ground



# Pools and Hot Tubs

## Hot Tubs:



Area where a house or hot tub could be built

Area where a hot tub could be built

Hot tubs cannot be located closer **than the greater of the height of the hot tub or 1.5 m** from a lot line if located in the rear yard; if the hot tub is located in any other yard, the required setbacks for the principal building apply

Provisions	Required
Minimum Front Lot Line Setback (m)	A
Minimum Exterior Side Lot Line Setback (m)	B
Minimum Side Lot Line Setback (m)	C
Minimum Rear Lot Line Setback (m)	D

- Hot tubs must have a safety cover that is permanently attached to the hot tub and completely covers the hot tub
- The safety cover incorporates a lockable device
- The safety cover is structurally adequate to resist entry to the hot tub
- Hot tubs may be placed directly next to another building with no setback

# Fences

Fences on residential properties are not regulated by the municipality, however there are a few rules that must be followed:

- The height of the fence cannot exceed **2 m**
- If a fence is being constructed on a corner lot, the height of the fence at the corner sight triangle cannot exceed 0.75 m (a corner sight triangle is the 6 m-by-6 m triangle at the corner of the property where two streets intersect)
- The fence cannot block any easements on your property
- The fence cannot alter or affect drainage or block any ditches on your property
- Within a residential zone, your fence cannot be electrified, use barbed wire or contain any other dangerous components

Fence disputes between neighbours is considered a civil matter and will not be addressed by the municipality.

## Grading and Drainage

Understanding how the grading and drainage on your property works and affects your neighbour's property is important.

### Did you know?

Proper lot grading is important for the drainage of your property. It's important not to change lot grading when undertaking landscaping or making changes to your home.

### Consult us before you change!

Consult the Municipality before modifying any drainage swales on your property.

[mplanner@mississippimills.ca](mailto:mplanner@mississippimills.ca)

613-256-2064 ext. 507



**The Homeowner's Guide to Lot Grading and Drainage**

[mississippimills.ca/en/municipal-services/resources/Documents/Planning/MM-Homeowners-Guide-to-Lot-Grading-and-Drainage.pdf](https://mississippimills.ca/en/municipal-services/resources/Documents/Planning/MM-Homeowners-Guide-to-Lot-Grading-and-Drainage.pdf)

## Office Location – 14 Bridge St:

- The building department is located at 14 Bridge St, Almonte, in the Almonte Old Town Hall building on the lower-level.
  - Visit us for building permit information, applications, and payments. **We accept debit, cheque, or exact cash.** There is also a drop box located to the left of the Building and Planning entrance for afterhours payments.
  - You can also contact the building department at [building@mississippimills.ca](mailto:building@mississippimills.ca) or 613-256-2064 ext.508.
  - You may find all the information you're looking for and more on our Building and Renovating webpage: [mississippimills.ca/en/build-and-invest/building-and-renovating.aspx](https://mississippimills.ca/en/build-and-invest/building-and-renovating.aspx)
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## Decks:

- Building permits are required for decks and porches of **any size** if they serve the building directly via a doorway of any kind, even if they are less than 10m<sup>2</sup> (108 sq ft).
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## Pool and Hot Tub Enclosures:

- Private pools (in-ground, on ground, above ground) and hot tubs require a pool/hot tub enclosure permit as per the [Pool By-law](#).
- There is a specific application form for pools and hot tubs that can be found at the Building office or on the website here: [Pool and hot tub enclosure application form](#).
- A separate building permit may also be required for decks built to access the pool or hot tub.

## Building By-law and Fee Changes:

Recently the building department updated the [Building Bylaw](#) and [Fees and Charges By-law](#). These new updates took effect on May 8th, 2024.

Some items to note include:

- Application timeline for residential projects: Applicants have 20 days from date of original submission to submit all required documentation, to satisfy all technical deficiencies, and to pay all applicable fees, or the application could be considered abandoned.
  - Fees will be applied for Occupancy Permits where an occupancy permit/inspection is requested prior to final inspection, or after the building has already been occupied.
- 

## Sheds:

- Storage sheds under 15m<sup>2</sup> (161 sq ft) do not require a building permit, however, they still need to meet your property setbacks based on the [Comprehensive Zoning By-law](#) for accessory structures.
- All storage sheds over 15m<sup>2</sup> (161 sq ft), including pre-manufactured sheds and shipping containers, require a building permit. If the structure is used for anything other than storage, a building permit will be required if it is 10m<sup>2</sup> (108 sq ft) or larger.

# Applying for a Building Permit continued:

## Forms and Documents for Residential Building Permits:

Residential building permit applications require the following documents:

- [Building Permit Application form and Schedule 1](#)
- Site Plan (see example to the right)
- Building Drawings:
  - Floor plan
  - Footing plan
  - Elevations
  - Cross section



Some additional items that may also be required, depending on the project or property:

- Ownership confirmation
- Letter of Authorization from owner
- Floor joist layout
- Truss layout
- Heat loss/gain calculations
- Plumbing information
- Energy Efficiency Design Summary (EEDS)
- Planning approvals
- Heritage Permit
- Septic permit
- Entrance permit
- Mississippi Valley Conservation Authority Permit
- MTO permit

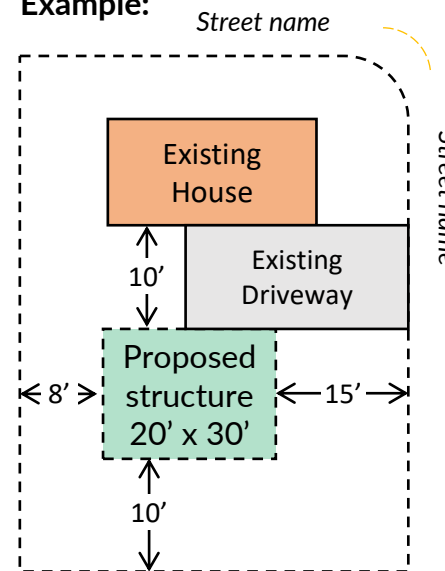
**\*Please note that properties fronting on a private road or waterfront will require a Plan of Survey and surveyor's real property report completed by an Ontario Land Surveyor.**

## Site Plan Information:

A site plan must contain the following details:

- Proposed structure dimensions
- Lot size and dimensions of property
- Setbacks to property lines for proposed structures
- Location of any other existing structure(s) on the property
- Location of existing right-of-ways, easements and municipality services
- Location of existing powerlines, driveways, septic tanks/beds, and well

### Example:



### Note:

If you are unsure where your property lines are located, you may need to consult an Ontario Land Surveyor. Only Ontario Land Surveyors can tell you exactly where your property lines are located.